

This Addendum forms part of the Tender Documents and is to be read, interpreted and coordinated with all other parts. The cost of all work contained herein is to be included in the Tender sum. The Specifications and Drawings are complementary. Items listed under the Specifications in this Addendum and having influence on the Drawings are so deemed to alter the Drawings. Items listed under the Drawings in this Addendum and having influence on the Specifications are so deemed to alter the Specifications.

## 1.0 **ARCHITECTURAL**

### 1.1 **Change to Drawings**

1. Drawing A0-0 R4 – Cover Sheet -reissued with changes noted
2. Drawing A1-0 R4 – Overall Site Plan – reissued with changes noted
3. Drawing A2-1 R4 1<sup>st</sup> Floor Plan - reissued with changes noted
4. Drawing A2-1-1 R0 2nd Floor Plan – new drawing
5. Drawing A2-1-2 R0 3<sup>rd</sup> Floor Plan -new drawing
6. Drawing A2-2 R4 Demo and New Partial First Floor Universal Washroom, Demo, New, Ceiling and Interior Elevations – reissued with changes noted
7. Drawing A2-3 R4 Partial 1<sup>st</sup> Floor Plan, Stair Lift, Existing & New – reissued with changes noted
8. Drawing A2-0 is deleted

### 1.2 **Change to Specifications**

1. See attached revised section 00 01 10 Table of Contents
2. Delete section 02110 Site Clearing
3. Delete Section 02525 Conc. Curbs and Paving
4. Section 08710 Hardware – add attached Hardware Schedule, 10 pages
5. Section 00861 Door and Frame Schedule – reissued, 5 pages
6. Section 00860 Room Finish Schedule – reissued, 1 page
7. Section 09310 Ceramic Tile – reissued, 6 pages

## 2.0 **MECHANICAL & ELECTRICAL**

- 2.1 See attached M&E addendum #1 dated May 20, 2026, 3 pages

**End of Addendum No. 1**

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**APPENDIX 'B' – REPORTS**

<b>Report 1</b>	Designated Substances and Hazardous Building Assessment Report dated March 6, 2026 prepared by SafeTECH Environmental Ltd.	46
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## Room Finish Schedule

Room No.	Room Name	Floor		Base		Wall		Ceiling			Remarks
		mat'l	finish	mat'l	finish	mat'l	finish	mat'l	finish	height	
111	Universal Washroom	CONC.	CT	-	RUB	CONC BLK	SG-PT	ACT	-	2500	CERAMIC TILE ON PLUMBING WALLS (SINK & TOILET)
112	Existing Custodian	CONC	EX	-	EX	CONC BLK	EX	EX	-	EX	
113	Existing Corridor	CONC	CT	-	EX	CONC BLK	EX	EX	-	EX	
114	New Storage	CONC	RFS	-	RUB	EX / BLK	SG-PT	ACT	-	MATCH EX	
115	Existing Corridor	CONC	EX	-	MATCH EX	EX	SG-PT	EX	-	EX	

### LEGEND:

ACRYL	INTERIOR ACRYLIC PAINT	EP	EPOXY	P.LAM	PLASTIC LAMINATE	S/S	STAINLESS STEEL
ACT	ACOUSTIC CEILING TILE	EX	EXISTING	POR	PORCELAIN TILE	TER	TERRAZZO
BLK	BLOCK	EXP	EXPOSED	PT	PAINT	RUB	RUBBER BASE
CONC	CONCRETE	GYP	GYPSUM BOARD	SFT	SAFETY FLOORING	VCT	VINYL COMPOSITE TILE
CPT	CARPET	LEP	LATEX EPOXY	SG	SEMI-GLOSS	CT	CERAMIC TILE
EG	EGGSHELL	LVT	LUXURY VINYL TILE	SPF	SPORTS FLOORING	RFS	RESILIENT FLOORING

**End of Section**

**PART 1 - GENERAL**

- |     |                                    |    |   |                  |
|-----|------------------------------------|----|---|------------------|
| 1.1 | <b><u>General Requirements</u></b> | .1 | Comply with requirements of Division 1.   |                  |
| 1.2 | <b><u>Related Sections</u></b>     | .1 | Finishing of Concrete Slabs:  | Section 03302    |
|     |                                    | .2 | Sealants  | Section 07900    |
| 1.3 | <b><u>Reference Standards</u></b>  | .1 | Do tile work in accordance with installation manual 200-1979 (Revised 1989), 'Ceramic Tile', by Terrazzo Tile and Marble Association of Canada and CSC Architectural Specification Study 09300 on Ceramic Tile.   |                  |
|     |                                    | .2 | American National Standards Institute (ANSI) / Ceramic Tile Institute (CTI)   |                  |
|     |                                    | .1 | ANSI A108.1, Specification for the Installation of Ceramic Tile (Includes ANSI A108.1A-C, 108.4-.13, A118.1-.10, ANSI A136.1)   |                  |
|     |                                    | .3 | American Society for Testing and Materials (ASTM)   |                  |
|     |                                    | .1 | ASTM C144, Specification for Aggregate for Masonry Mortar.  |                  |
|     |                                    | .2 | ASTM C207, Specification for Hydrated Lime for Masonry Purposes.  |                  |
|     |                                    | .4 | Canadian General Standards Board (CGSB)   |                  |
|     |                                    | .1 | CGSB 71-GP-22M, Adhesive, Organic, for Installation of Ceramic Wall Tile  |                  |
|     |                                    | .2 | CAN/CGSB-75.1, Tile Ceramic   |                  |
|     |                                    | .5 | Canadian Standards Association (CSA)  |                  |
|     |                                    | .1 | CAN/CSA-A3000, Cementitious Materials Compendium (Consists of A5, A8, A23.5, A362, A363, A456.1, A456.2, A456.3)  |                  |
| 1.4 | <b><u>Qualifications</u></b>       | .1 | <u>Installer:</u> Work to be performed by a qualified Contractor and who has personnel with experience of successful work on similar projects, and who has the necessary equipment to complete the work.  |                  |
| 1.5 | <b><u>Guarantee</u></b>            | .1 | Provide the following guarantees in accordance with the General Conditions, notwithstanding the time provisions therein, including but not limited to such defects as cracks and delamination, except where proven the defect is a direct result of structural failure. |                  |
|     |                                    | .2 | Provide certificate of quality compliance from tile manufacturer.   |                  |
|     |                                    | .3 | Provide certificate of quality compliance from tile installer upon satisfactory completion of installation.   |                  |
|     |                                    | .1 | <b>General Tile Work</b>  | <b>- 2 years</b> |

- 1.6 **Submittals** .1 **Samples:**
- .1 Prior to ordering materials submit, for Consultant's review, duplicate samples of each tile, trim, fitting and base, mounted on panels complete with grout and mortar joints. Also submit samples of mitre cut base (if indicated on Finishes Drawings and Colour Schedule) and field tiles.
- .2 **Maintenance Data:**
- .1 Submit manufacturer's maintenance data for inclusion into the maintenance manuals specified in Division 1. Also submit manufacturer's specification sheets for mortar and grout systems installed.
- .3 **Maintenance Materials:**
- .1 Supply a minimum 2%, but not less than 1 box, of each tile specified, for maintenance purposes. Store material where directed by Consultant.
- .2 Maintenance materials to be of same run as materials installed.
- 1.7 **Site Mock-Up** .1 Prior to commencing work, review all details and provide mock-up for Consultants review. Mock-up will remain in place throughout installation as a representation of finish work standard and may become part of the finished work if approved by Consultant.
- .2 Review tile patterns and layout with Consultant, on site, prior to commencing work.
- 1.8 **Product Delivery & Storage** .1 Deliver materials to site in original unopened containers. Store in safe dry protected area free of moisture. Take precautions so no foreign matter contaminates materials.
- 1.9 **Environmental Conditions** .1 Do not install tiles when ambient air temperature and substrate temperature is less than 12°C.
- .2 Maintain a temperature of between 12°C to 20°C in areas of work for 24 hours prior to and during installation and for duration of curing time.
- .3 Inspect areas to receive work and certify surfaces are acceptable for installation. Do not commence installation until improper conditions have been corrected.
- 1.10 **Protection** .1 Exclude construction traffic from areas to receive tile, during installation and for duration of curing time.

## **PART 2 - PRODUCTS**

- 2.1 **Tile General** .1 Specifications for tile and supporting accessories is based on materials manufactured and/or distributed by Olympia Tile International Inc., at 1-800-268-1613.

		.2	<u>Tile:</u> CAN2-75T-M77, except that no blisters or chips will be allowed; colours and patterns selected by Consultant.
2.3	<b>Ceramic &amp; Porcelain Tile</b>	.1	Colour to be selected by Consultant. Refer to Section 00865 Colour Schedule for material selections.
2.4	<b>Mortar/ Adhesives &amp; Grout</b>	.1	All interior wall tile to use Ultra/Mastic 1.
		.2	All floor tiles to use Karalastic/Karabond.
		.3	Colour to be selected by Consultant. Refer to Section 00865 Colour Schedule for material selections.
		.4	Provide "Grout Boost" Stain resistant grout additive by Specialty Construction Brands Inc, to grout for all porcelain floor tile applications.
		.5	Unless otherwise indicated all grout lines on walls to line up with grout lines on floors in all directions.
		.6	Apply grout conditioner to all exposed grout.
		.7	Apply grout sealer to all exposed grout.
2.5	<b>Transition Strips</b>	.1	<b>Provide Schluter Schiene transition strips in satin anodized aluminum at the top edge and exposed side edges of porcelain tiles and at all changes to other or existing flooring materials.</b>
		.2	Transitions strips are required to clean up edge of tiles where different thicknesses of tiles are specified and vertical edges. Refer to interior elevations for notes regarding location of transition strips.
		.3	Provide Schluter Quadec in brushed stainless steel for at outside corners where tile meets tile unless otherwise specified. Refer to Section 00865 Colour Schedule.
		.4	Grind all sharp edges smooth. Careful attention to corner conditions to ensure smooth finish to touch.
		.5	Use full length strips where possible. All connecting transition strips to have a seamless appearance and smooth to the touch.
2.8	<b>General Materials</b>	.1	<u>Water:</u> Potable and non-staining
		.2	<u>Portland Cement:</u> CAN3-A5-M83.
		.3	<u>Sand:</u> CSA A82.56-M1976.
		.4	<u>Control Joint Sealant:</u> Urethane sealant equal to Vulkem 245 self leveling sealant manufactured by Mameco Canada Ltd. Colour to match grout. Architect to make final colour selection.

### **PART 3 - EXECUTION**

- |     |                                       |    |   |
|-----|---------------------------------------|----|---|
| 3.1 | <b><u>Inspection</u></b>              | .1 | Examine floors for defects that are detrimental to installation and bonding of tile.  |
|     |                                       | .2 | Examine drywall surfaces for adequate fixing, plumb, joint filling and freedom from waves.  |
|     |                                       | .3 | Examine masonry and concrete surfaces for soundness, excessive moisture, efflorescence and variation tolerance.   |
| 3.2 | <b><u>Preparation</u></b>             | .1 | Substrates to be clean and free of foreign matter and minimum 10° C.  |
|     |                                       | .2 | Clean substrates as required to produce acceptable surface.   |
|     |                                       | .3 | Where substrate conditions require it, apply leveling coat and allow to cure.   |
| 3.3 | <b><u>Tile / Stone General</u></b>    | .1 | Finished work shall be level, plumb, or sloped as shown, true, square and free of defective, chipped, broken, discoloured or blemished tiles. Maximum allowable finished surface variation is 3 mm in 3 m when measured, in any direction, with a 3 m straightedge. |
|     |                                       | .2 | Lay out tile patterns symmetrically within each area using full tiles where possible, and to patterns shown. Unless otherwise indicated provide stacked pattern. Review with architect/interior designer on site prior to installation of any and all tiles.        |
|     |                                       | .3 | Joints shall be parallel, uniform, neat, straight, square and completely filled.  |
|     |                                       | .4 | Fit tile or stone accurately against and around interruptions, penetrations and abutting dissimilar surfaces. Wherever possible, drill holes for penetrating elements to ensure neat fitting.   |
|     |                                       | .5 | After setting, sound tiles and replace hollow backed tiles.   |
|     |                                       | .6 | Provide tile manufacturer's standard trim pieces at changes in direction and at terminations. Unless otherwise indicated provide the following corner and edge conditions.  |
|     |                                       | .1 | Internal horizontal corners: coved.   |
|     |                                       | .2 | External vertical and horizontal corners and edges: bullnose.   |
|     |                                       | .3 | Internal vertical corners and unexposed edges: square butt joint.   |
|     |                                       | .4 | Top of base: curved surface cap.  |
| 3.4 | <b><u>Floor Tile Installation</u></b> | .1 | At floors shown to be sloped install setting bed to slopes indicated screed and tamp firmly, minimum 20 mm thick, with reinforcing mesh embedded approximately in centre of setting bed. Lap mesh 50 mm at joints.  |
|     |                                       | .2 | Over setting bed trowel or brush on bond coat approximately 1.5 mm thick, or apply evenly over back of tiles. Set tiles onto setting bed and beat firmly and evenly in place so as to achieve true, uniform and properly bonded                                     |

installation but without causing damage to tiles.

- .3 Provide minimum 1% slope to floor drains.
- .4 Floor tiles at floors without slopes, and base tiles may be installed with the thin set method using dry set mortar.
- .5 Unless otherwise indicated provide 3 mm wide joints.
- .6 Provided caulked control joints at 6 m on centres.

3.5 **Wall Tile  
Installation**

- .1 Install tile on dry wall surfaces with organic adhesive or thin set bond coat (TTMAC 200-5 & -5A). Install wall tile on masonry or concrete with organic adhesive or dryset mortar (TTMAC 200-3, -3A).
- .2 Use presanded dry set mortar or latex Portland Cement mortar for setting tile on glass fiber reinforced concrete backer board base as follows:
  - .1 Fill space between edge of board and tub or shower receptor with mortar.
  - .2 Fill backer board joints and joints between backer board and other materials solid with mortar. Apply skim coat of mortar and embed fiberglass tape over joints.
  - .3 Apply mortar setting bed in one coat to 2.4 mm minimum thickness after tiles are beat in. Initially apply mortar coat smoothly, then notch.
- .3 Set wall tile in adhesive with 2 mm joint maximum both vertically and horizontally. Carry tile to ceiling unless otherwise indicated.
- .4 At internal corners where tile abuts tile, tile and grout one plane before commencing work on intersecting plane to ensure proper filling of void at corners. Grout corner joint with sealant, same colour as mortar grout.
- .5 Do tile work before ceilings are begun. Provide level and straight termination 50 mm above ceiling heights.
- .6 On cast-in-place concrete wall, use bonding agent before applying adhesive.
- .7 Install joint filler and seal behind escutcheon plates at every pipe penetrating tile work.
- .8 Consult and review tile patterns with architect/interior designer on site prior to installation.

3.6 **Grouting**

- .1 Remove mortar and adhesive from tile face as work progresses with CLEAN water.
- .2 Commence grouting not earlier than 24 hours after setting tiles unless otherwise directed by grout manufacturer.



- |     |                              |    |   |
|-----|------------------------------|----|---|
|     |                              | .3 | Force maximum grout into joint so as to fill them flush, leaving no voids.  |
|     |                              | .4 | Promptly as work progresses remove excess grout from adjacent tile surfaces with CLEAN water before grout establishes tight permanent adhesion.                             |
|     |                              | .5 | Cure grout in accordance with manufacturer's directions, minimum of 10 days.  |
|     |                              | .6 | Use MORE™ Surface Acidic Cleaner - to remove grout haze from the surface. Product supplied by Olympia Tile & Stone.   |
|     |                              | .7 | Seal all polished tiles and grout with manufacturer's recommended sealer prior to and after grouting. Review and consult architect prior to tile installation and grouting. |
| 3.7 | <b><u>Control Joints</u></b> | .1 | Provide control joints at substrate control joint locations, at abutting dissimilar materials.  |
|     |                              | .2 | Unless otherwise detailed provide control joints 10 mm wide and fill with control joint sealant.  |
| 3.8 | <b><u>Cleaning</u></b>       | .1 | Thoroughly clean tiles in accordance with manufacturers' instructions rinse with clean water and polish with clean dry cloths.  |

**End of Section**

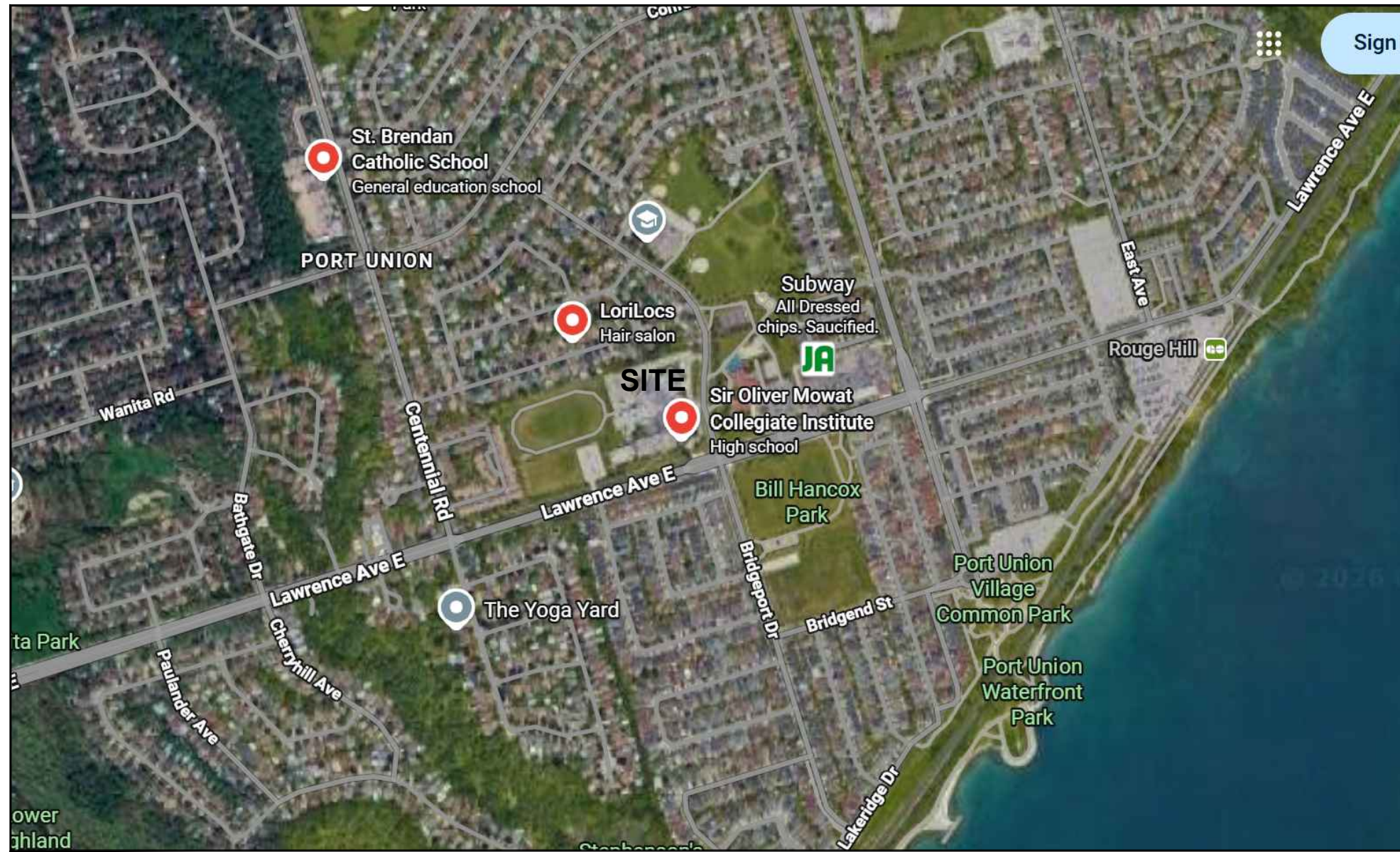




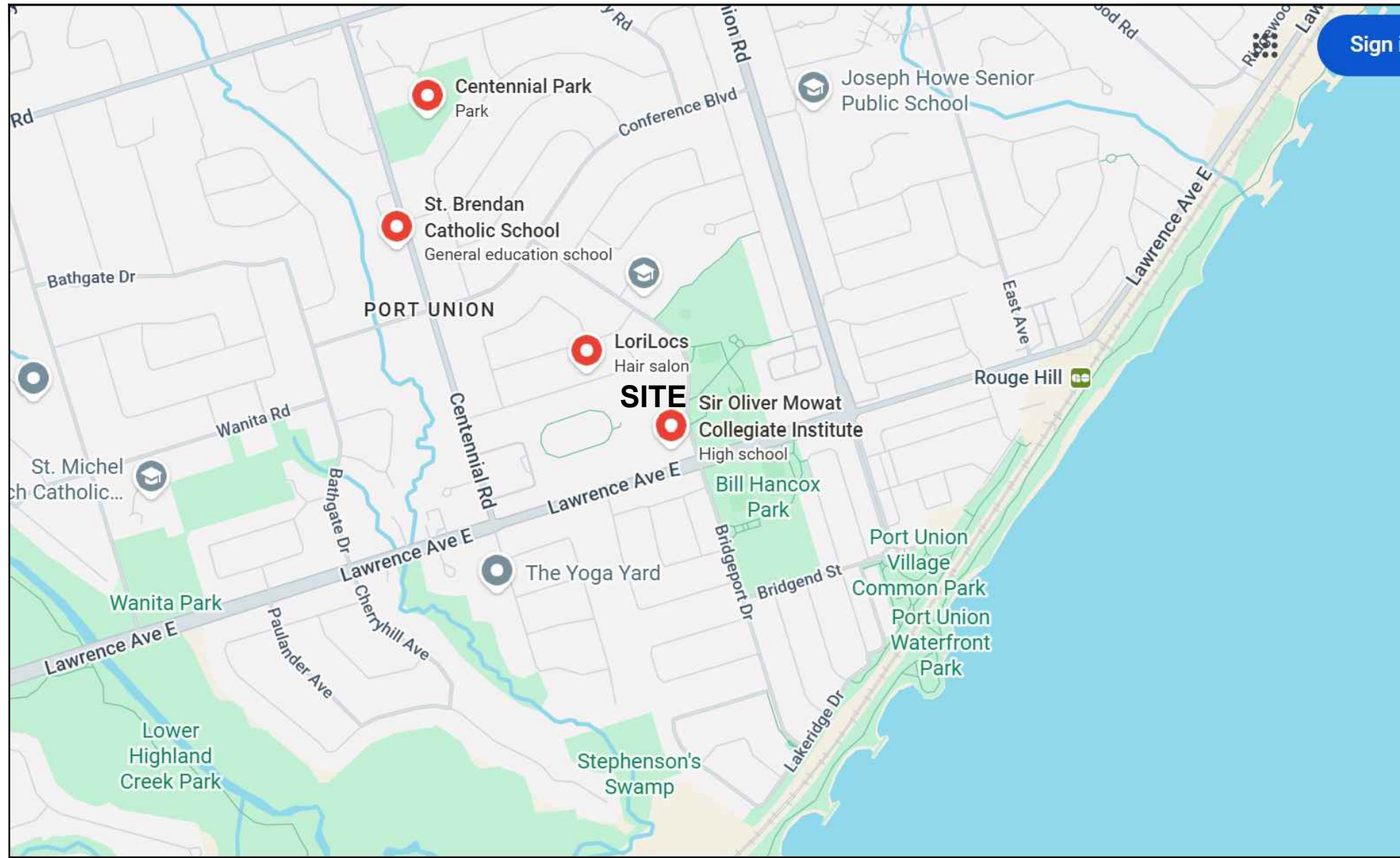
## Sir Oliver Mowat Collegiate Institute

**BUNDLE 5**  
5400 Lawrence Ave, East  
Scarborough, Ontario  
M1C 2C6

ACCESSIBILITY UPGRADE  
TR-25-0951



SATELLITE VIEW



KEY PLAN

### ONTARIO BUILDING CODE DATA MATRIX

Firm Name: Kingsland + Architects Inc.	
Certificate of Practice Number: 4549	
The Certificate of Practice Number of the holder is the holder's BCDN.	
Firm Address and Contact Information: Colin J. Kingsland Partner, B.E.S., B.Arch., O.A.A., LEED AP 110 CUMBERLAND STREET, SUITE 262 TORONTO, ONTARIO M5R 3V5 Telephone: 416-203-7709 Facsimile: 416-203-7763 Email: C.Kingsland@KingslandPlus.com	
Name and Address of Project: SIR OLIVER MOWAT COLLEGIATE INSTITUTE - BUNDLE 2 5400 LAWRENCE AVE. EAST SCARBOROUGH, ONTARIO M1C 2C6	
The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCDN.	
Ontario Building Code Data Matrix - Parts 3 & 9	
OBC Reference	
Project Description: <input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input type="checkbox"/> Part 9	
<input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Alteration	
Major Occupancy(s): Group 'A2'	
Building Area (m <sup>2</sup> ) Existing: 12540 m <sup>2</sup> New: Total: 12540 m <sup>2</sup>	
Gross Area (m <sup>2</sup> ) Existing: 28180m <sup>2</sup> New: Total: 28180m <sup>2</sup>	
Number of Storeys: Above Grade: 3 Below Grade: 1	
Number of Streets/Fire Fighter Access: 2	
Building Classification: ASSEMBLY OCCUPANCY, GROUP A2	
Sprinkler System Proposed: <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	
Standpipe required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Fire Alarm required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Water Service/Supply is adequate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
High Building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Construction Restrictions <input type="checkbox"/> Comb. Permitted <input checked="" type="checkbox"/> Non-comb. required <input type="checkbox"/> Both <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	
Actual Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	
Mezzanine(s) Area (m <sup>2</sup> ): N/A	
Occupant Load based: <input type="checkbox"/> m <sup>2</sup> /person <input checked="" type="checkbox"/> design of building	
Existing Building: Load 1142 persons	
Barrier-free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Required Fire Resistance Rating (FRR)	
Horizontal Assemblies (Hours)	
Listed Design No. or Description (SB-3)	
3.2.2.20,-83 EXISTING	
Supporting Members (Hours)	
Listed Design No. or Description (SB-3)	
3.2.2.20,-83 EXISTING	
Spatial Separation - Construction of Exterior Walls	
3.2.3.1	
Wall	
Area of EBF (m <sup>2</sup> )	
L.D. (m)	
L/H or L/H	
Permitted Max. % of Openings	
Proposed % of Openings	
FRR (Hours)	
Listed Design or Description	
Comb. Const.	
Comb. Const.	
Comb. Const.	
Non-comb. Const.	
North	
South	
East	
West	

### ONTARIO BUILDING CODE DATA MATRIX- PLUMBING FIXTURE COUNT

23a&  
23b

Existing Occupant Load Provided by School						
Number of Students		1068				
Number of Staffs		74				
Total School Occupant Load		1142				

	Required		Proposed		Room No.s	Remarks
	W/C INC. BF.	U.C. Lav.	W/C INC. BF.	U.C. Lav.		
SCHOOL STUDENTS						
Male Student	18	-	10	40	-	20
Female Student	21	-	11	35	-	18
Barrier-free (3.8.2.3.B.)	3	-	3	6	-	6
Universal	1	-	1	1	-	1
SCHOOL STAFF						
Staff	6	-	3	20	-	10
Staff BF (3.8.2.3.B.)	1	-	1	1	-	1

3.7.4.3.(14) Wcs Count For Students:

The number of water closets required for elementary and secondary schools shall be at least one fixture for each 30 males and one fixture for each 26 females.

1068 / 2 = 534 at 1 Wc per 30 males = 18  
1068 / 2 = 534 at 1 Wcs per 26 females = 21

3.7.4.7. (1), Table 3.7.4.7.(1) Wcs Count For All Staff:

Staff - School = 74

37 female staff (for 10 to 24 persons of each sex) = 3 Wc's  
37 male staff (for 10 to 24 persons of each sex) = 3 Wc's  
= 6 Wc's

3.7.4.2.(8) The Universal washroom water closet and lavatory may be counted as part of the plumbing fixtures required for males and females. In this case used for both students and staff BF. count

3.8.2.3. (2) The Universal washroom: one universal washroom is required in 1 to 3 storey building

Table 3.8.2.3.B. BF. Stalls Count For Students Exc. KG but For Staff (Inc. KG.)

Students

Male: 18 Wc's at 10 to 16 Wc's/ W/r = 2 BF Stall is Req'd.  
Female: 21 Wc's at 10 to 16 Wc's/ W/r = 2 BF Stall is Req'd.

Firm Name: Kingsland + Architects Inc.	
Certificate of Practice Number: 4549	
The Certificate of Practice Number of the holder is the holder's BCDN.	
Firm Address and Contact Information: Colin J. Kingsland Partner, B.E.S., B.Arch., O.A.A., LEED AP 110 CUMBERLAND ST., Suite 262 TORONTO, ONTARIO M5R 3V5 Telephone: 416-706 0072 Email: C.Kingsland@KingslandPlus.com	
Name and Address of Project: SIR OLIVER MOWAT COLLEGIATE INSTITUTE - BUNDLE 2 5400 LAWRENCE AVE. EAST SCARBOROUGH, ONTARIO M1C 2C6	
The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCDN.	
Ontario Building Code Data Matrix - Parts 11 - Renovation of Existing Building	
OBC Reference	
11.1	Project Description: Describe Existing Use: School Construction Index: N.A. Hazard Index: N.A.  <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy)
11.2	Alteration to Existing Building is: Basic Renovation <input type="checkbox"/> Extensive Renovation <input type="checkbox"/>
11.3	Reduction in Performance Level: Structural: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes By Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Plumbing: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Sewage-system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
11.4	Compensating Construction: Structural: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (explain)  NEW PLATFORM STAIR LIFT ADDED  Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)  Change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)  Plumbing: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (explain) Additional plumbing facilities added.  Sewage System: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)
11.5	Compliance Alternatives Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s))
11.6	Alternative Measures Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)

### SYMBOL LEGEND

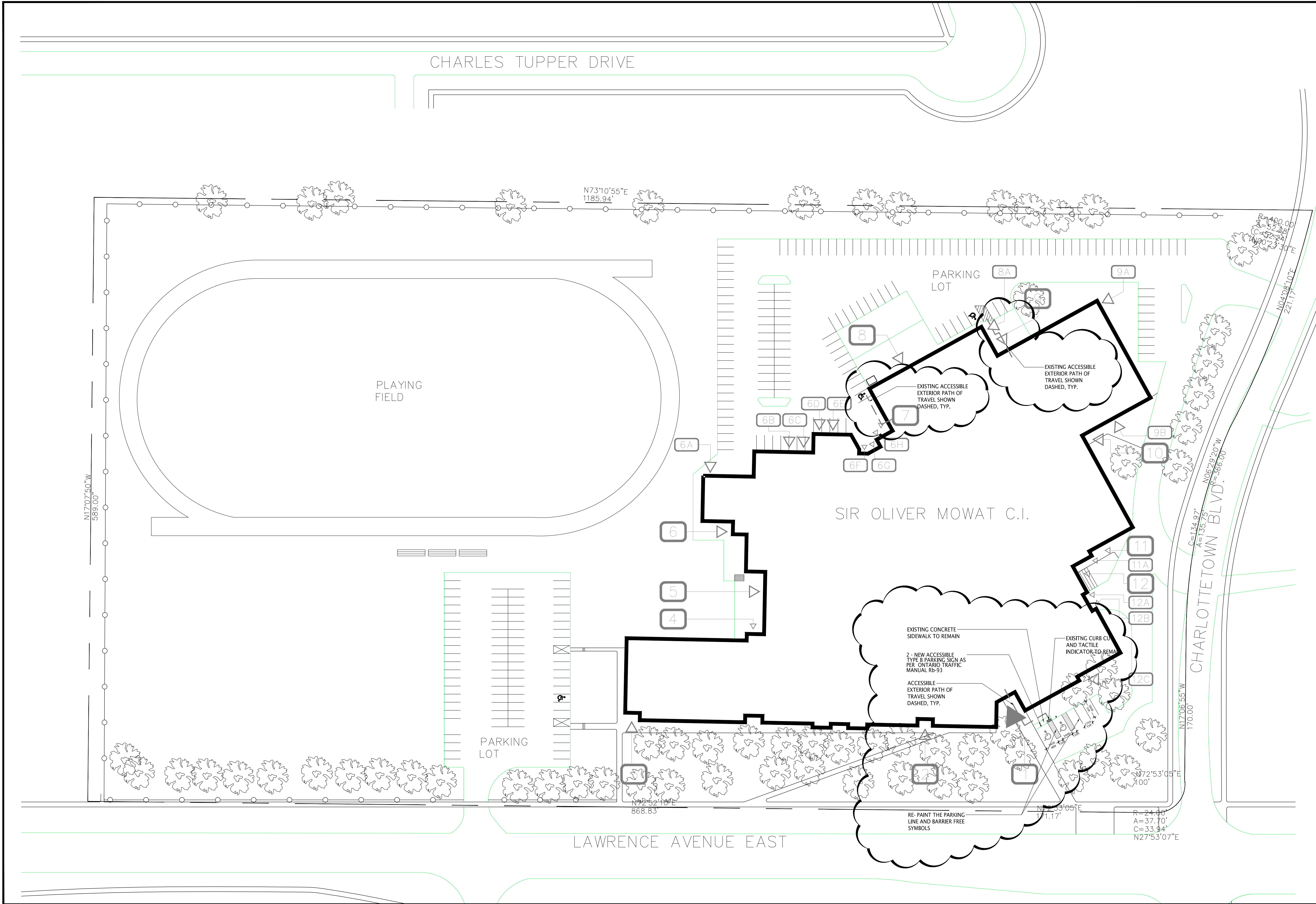
	EXISTING WALL
	EX. WALL TO BE REMOVED
	NEW WALL
	FIRE SEPARATION
	WALL TYPE - SEE SPECIFICATION
	DOOR NUMBER EXISTING DOOR
	DOOR NUMBER NEW DOOR
	BUILDING SECTION NUMBER SHEET NUMBER
	WALL SECTION NUMBER SHEET NUMBER
	DETAIL NUMBER SHEET NUMBER
	DETAIL DRAWING NUMBER SEE SPECIFICATION
	WINDOW TYPE
	SCREEN TYPE
	ROOM NAME ROOM NUMBER
	CEILING MATERIAL CEILING HEIGHT
FOR DOOR SCHEDULE AND ROOM FINISH SCHEDULE SEE SPECIFICATION.	

### LIST OF DRAWINGS

ARCHITECTURAL	
A0-0	COVER PAGE INC. BUILDING CODE ANALYSIS (OBC MATRIX)
A1-1	SITE PLAN- OVERALL
A2-0	OVERALL 1 ST., 2ND AND 3RD FLOOR PLANS
A2-1	OVERALL FIRST FLOOR PLAN
A2-1-1	OVERALL SECOND FLOOR PLAN
A2-1-2	OVERALL THIRD FLOOR PLAN
A2-2	PARTIAL FIRST FLOOR PLANS - UNIVERSAL WASHROOM DEMO, NEW , CEILING AND INT. ELEVATIONS.
A2-3	PARTIAL FIRST FLOOR PLANS - STAIR LIFT EXISTING & NEW
STRUCTURAL	
S1-1	GENERAL NOTES AND TYPICAL DETAILS
S2-1	FRAMING PLANS AND ELEVATION
MECHANICAL	
M1	MECHANICAL LEGEND AND NOTES
M2	FIRST FLOOR KEY PLAN
M3	MECHANICAL PART PLANS
ELECTRICAL	
E1	ELECTRICAL LEGEND AND NOTES
E2	FIRST FLOOR KEY PLAN
E3	SECOND FLOOR KEY PLAN
E4	THIRD FLOOR KEY PLAN
E5	ELECTRICAL PART PLANS
E6	ELECTRICAL PART PLANS
E7	SCHEDULES & SCHEMATIC

ISSUED FOR PERMIT RESUBMISSION & ADDENDUM #0	
ISSUED FOR CLIENT REVIEW	
ISSUED FOR CLIENT REVIEW	
ISSUED FOR CLIENT REVIEW	
NO DATE: REVISION	
DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB. ALL DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECTS.	
GENERAL NOTES	
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6. ALL DIMENSIONS GIVEN ARE IN METRIC.	
Kingsland + Architects Inc.	
KINGSLAND + ARCHITECTS INC. 110 CUMBERLAND STREET, SUITE 262 TORONTO, ONTARIO M5R 3V5 PH 416.203.7799 FAX 416.203.7763	
ONTARIO ASSOCIATION OF ARCHITECTS COLIN J. KINGSLAND 4549	
Toronto District School Board	
Sir Oliver Mowat Collegiate Institute ACCESSIBILITY UPGRADES	
TR-25-0951 5400 Lawrence Ave, East Scarborough, Ontario M1C 2C6	
DRAWING TITLE: COVER PAGE	
PROJECT NO: A25007	SCALE:
DRAWN: K+	DRAWING NO: REV.
CHECKED: K+	A0-0
DATE: DEC. 2025	4



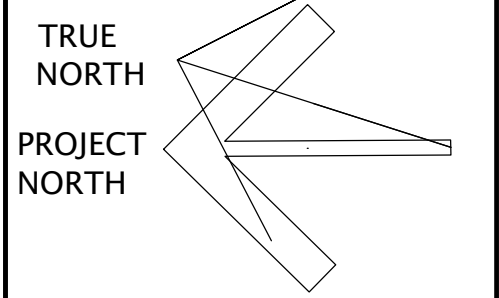


1 OVERALL SITE PLAN  
SCALE: 1:450

NO.	DATE	REVISION
1	26/09/24	ISSUED FOR PERMIT SUBMISSION & ADDENDUM #0
2	26/09/24	ISSUED FOR PERMIT AND TENDER
3	26/09/24	ISSUED FOR CLIENT REVIEW
4	26/09/24	ISSUED FOR CLIENT REVIEW
5	26/09/24	ISSUED FOR CLIENT REVIEW

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Sir Oliver Mowat  
Collegiate Institute  
ACCESSIBILITY UPGRADES  
TR-25-0951  
5400 Lawrence Ave, East  
Scarborough, Ontario  
M1C 2C6

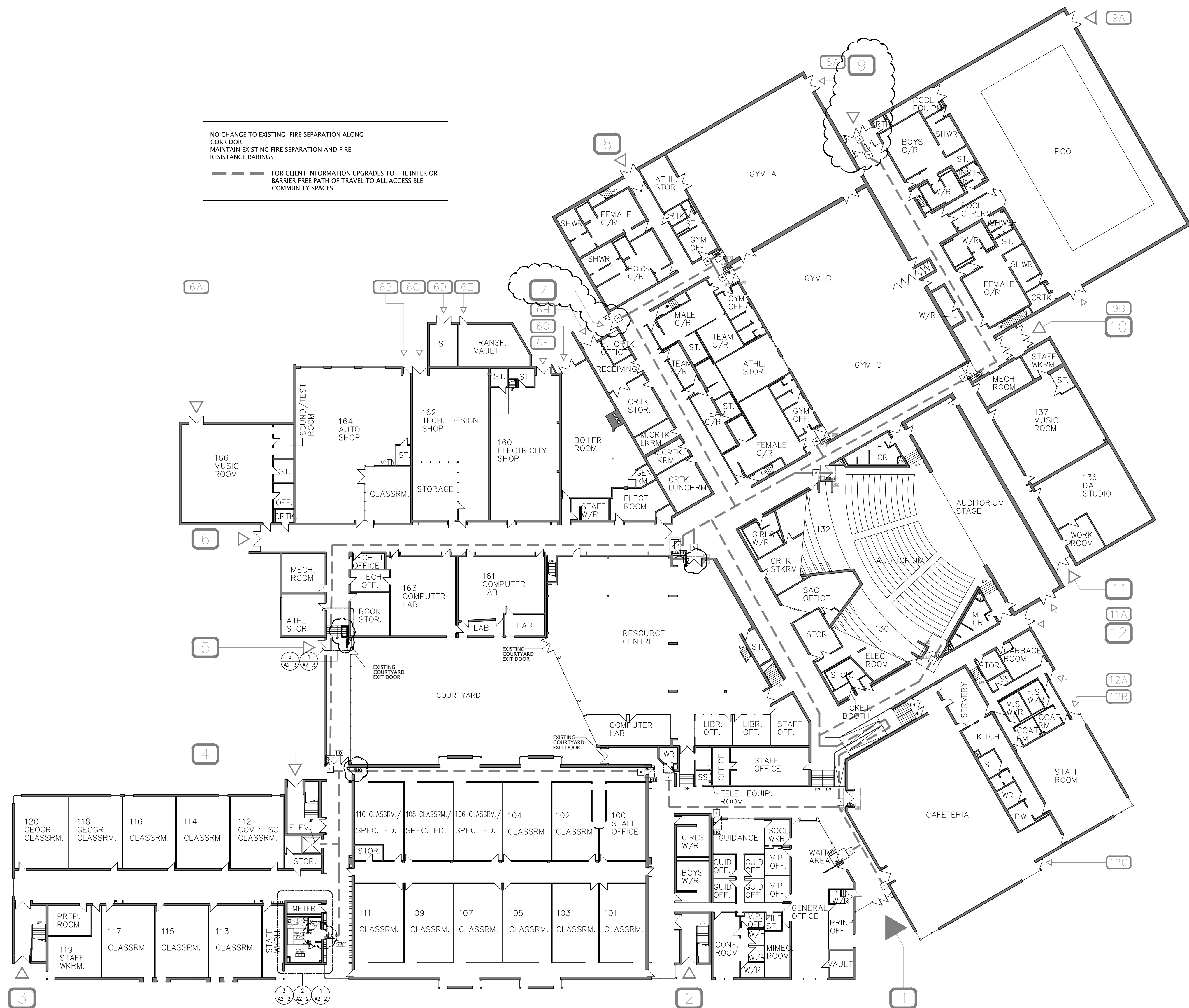
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PROJECT NO: A25007	SCALE: 1:500	
DRAWN: K+	DRAWING NO: A1-0	REV. 4
CHECKED: K+		
DATE: DEC. 2025		

FILES: A25007 - A1-0 OVERALL SITE PLAN



NO CHANGE TO EXISTING FIRE SEPARATION ALONG CORRIDOR  
MAINTAIN EXISTING FIRE SEPARATION AND FIRE RESISTANCE RARINGS

--- FOR CLIENT INFORMATION UPGRADES TO THE INTERIOR BARRIER FREE PATH OF TRAVEL TO ALL ACCESSIBLE COMMUNITY SPACES

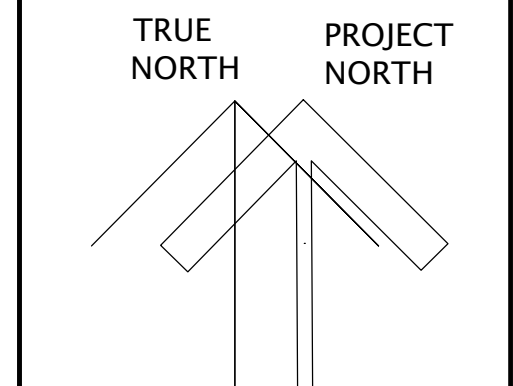


1 OVERALL FRIST FLOOR PLAN  
A2-1 SCALE: 1:300

NO.	DATE	REVISION
1	26/02/21	ISSUED FOR PERMIT SUBMISSION & ADDENDUM #0
2	26/02/19	ISSUED FOR CLIENT REVIEW
1	26/02/17	ISSUED FOR CLIENT REVIEW
0	26/02/17	ISSUED FOR CLIENT REVIEW

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5400 Lawrence Ave, East  
Scarborough, Ontario  
M1C 2C6

DRAWING TITLE:			
OVERALL FIRST FLOOR PLAN			
PROJECT NO: A25007		SCALE: 1:300	
DRAWN: K+		DRAWING NO:  A2-1	REV.
CHECKED: K+			4
DATE: DEC. 2025			

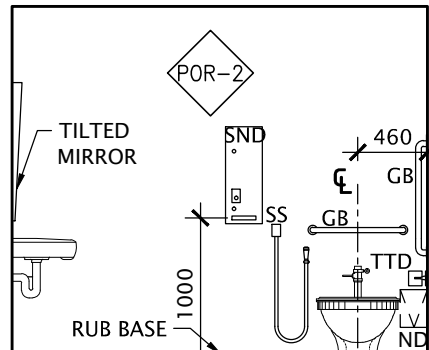
FILES: A25007 - A2-1 OVERALL 1ST MFLN



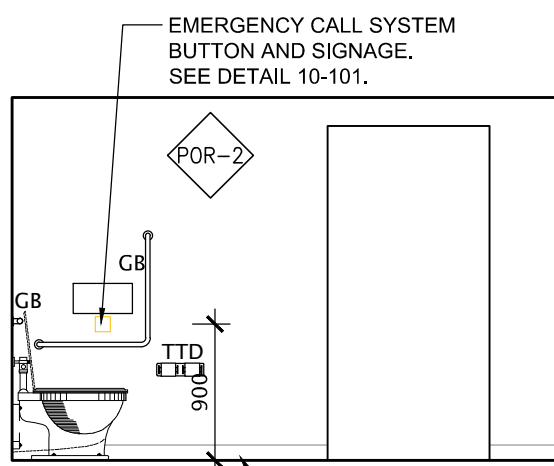




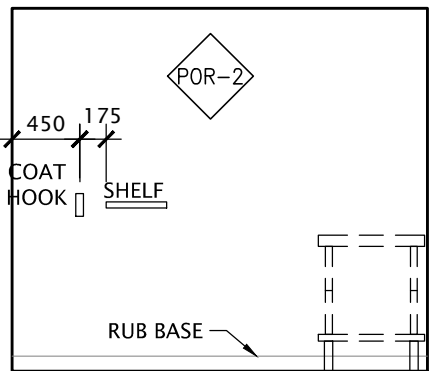




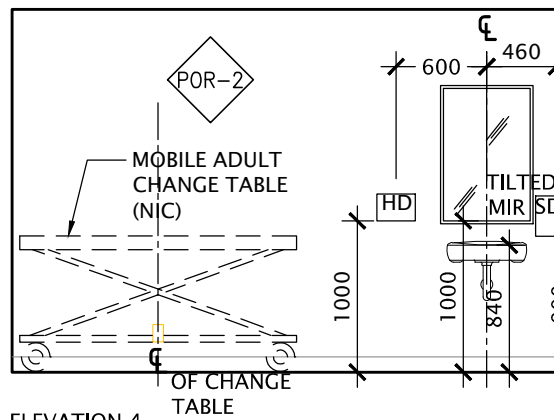
ELEVATION 1



ELEVATION 2

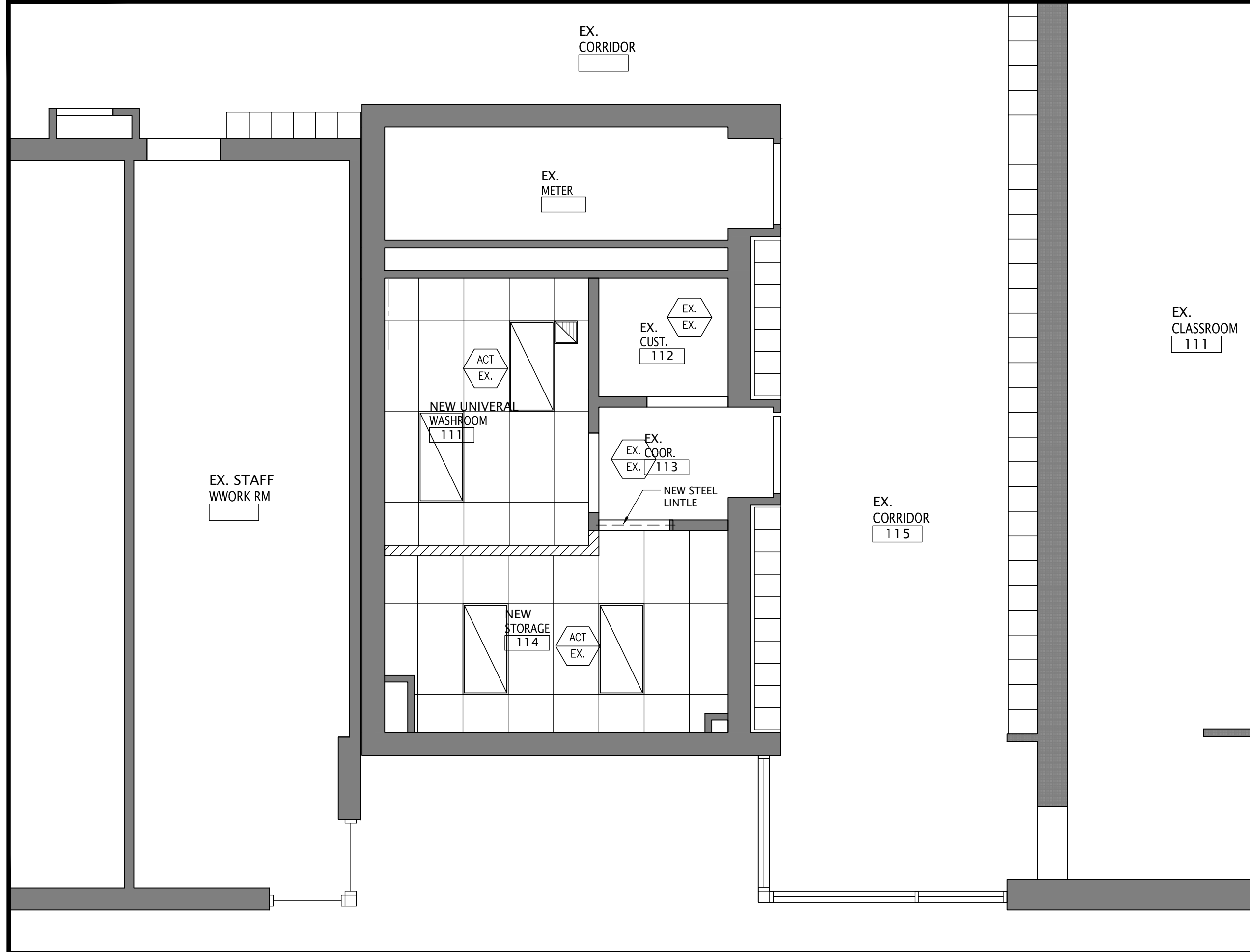


ELEVATION 3

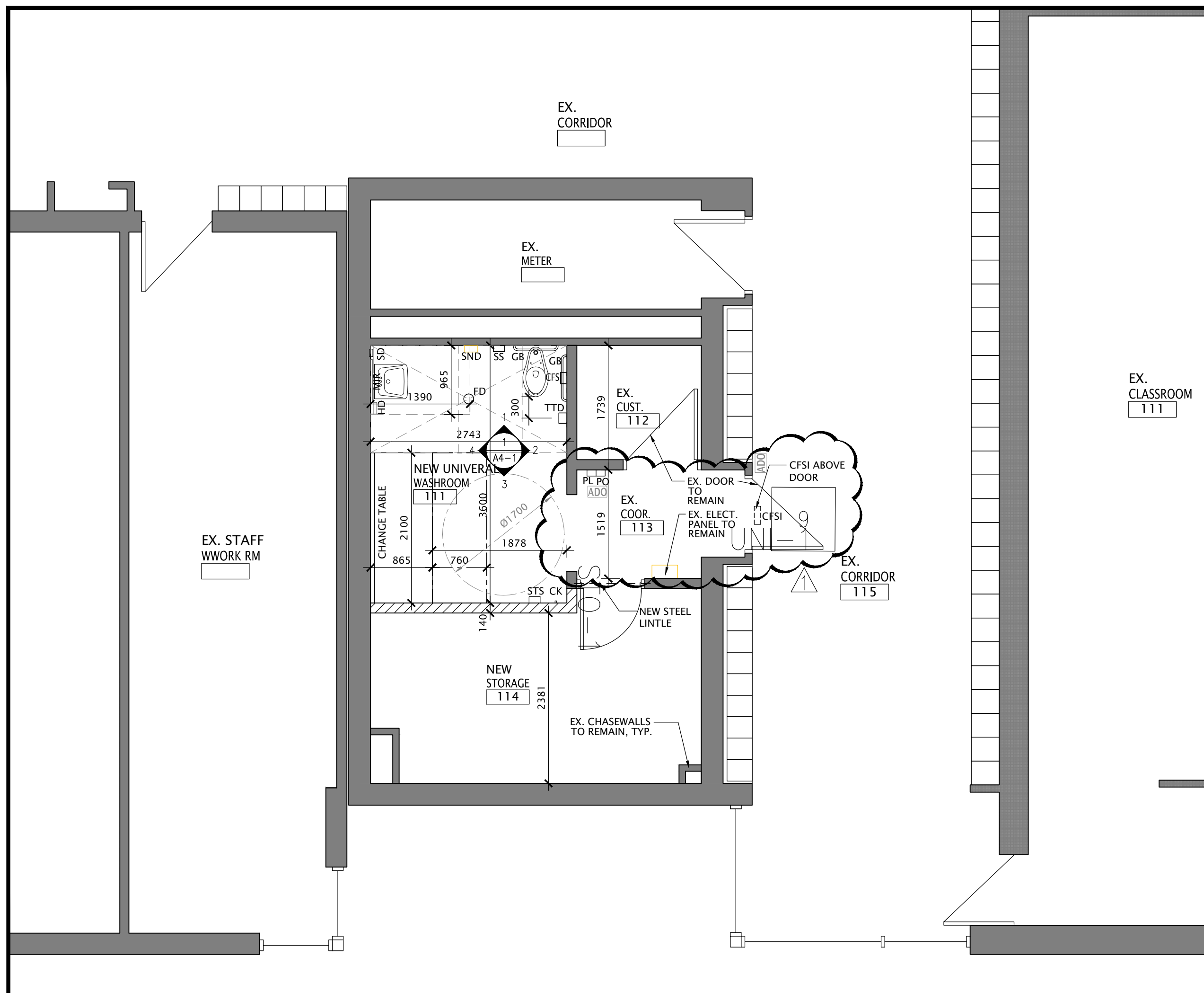


ELEVATION 4

5 UNIVERSAL WASHROOM - INT. ELEV.  
SCALE: 1:50



4 PARTIAL FIRST FLOOR PLAN - REFLECTED CEILING LAYOUT  
SCALE: 1:50



3 PARTIAL FIRST FLOOR PLAN - NEW LAYOUT  
SCALE: 1:50

#### DEMOLITION NOTES

ALL LOOSE FURNITURE, EQUIPMENT WITHIN THE SCOPE OF WORK WILL BE REMOVED BY TDSB FORCES. ANYTHING LEFT BEHIND IS TO BE TURNED OVER TO SCHOOL BOARD AUTHORITY.

- NOT IN SCOPE
- EXISTING TO BE REMOVED, SHOWN DASHED
- EXISTING

DURING CONSTRUCTION PROTECT ALL EXISTING SURFACES AS REQUIRED.

ANY DAMAGE AS A RESULT OF DEMOLITION TO BE REPAIRED BY GENERAL CONTRACTOR.

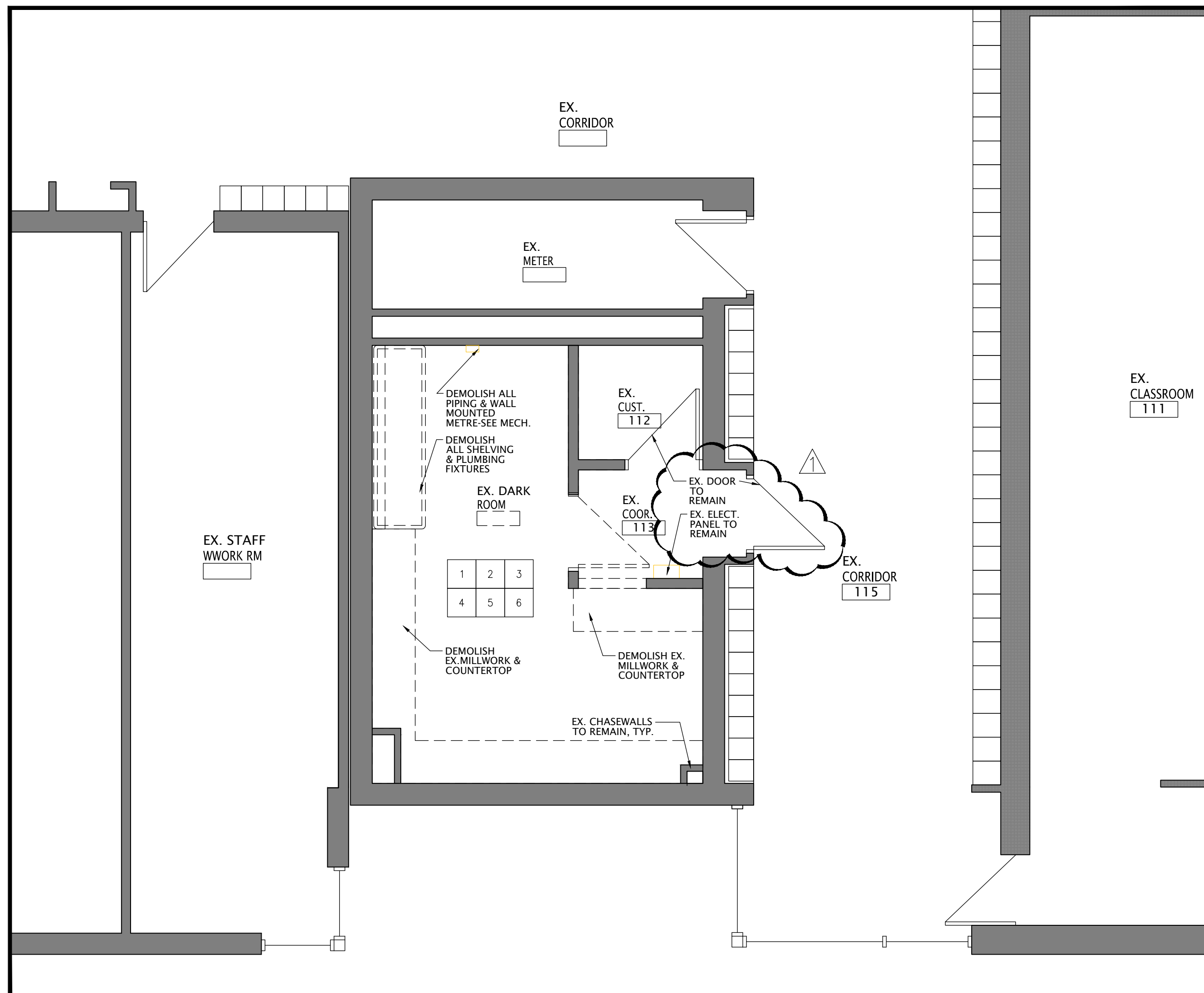
PATCH AND MAKE GOOD ALL SURFACES AFFECTED BY DEMOLITION. MAKE READY TO RECEIVE NEW FINISHES.

- LOOSE FURNITURE TO BE REMOVED BY THE BOARD FORCES. REMOVE FIXED FURNITURE & MILLWORK AS NOTED, AND HAND OVER TO THE BOARD. PATCH AND MAKE GOOD ALL SURFACES.
- DEMOLISH EXISTING HOLLOW METAL FRAMES AND DOORS. PATCH AND MAKE GOOD ALL SURFACES.
- REMOVE EXISTING FLOOR FINISH AND PREPARE FOR NEW FLOOR FINISH
- REMOVE EXISTING LIGHT FIXTURES AND CEILING COMPLETELY
- SAWCUT FLOOR SLAB FOR PLUMBING INSTALLATION , REFER MECH. FOR EXTENDING
- DEMOLISH ALL PIPING & WALL MOUNTED METRE-SEE MECH.
- SAWCUT & REMOVE PORTION OF WALL FOR NEW FRAME & DOOR

1 PARTIAL FIRST FLOOR PLAN - DEMOLITION  
SCALE: NTS

#### LEGEND-(REFER TO SPECS):

MIR	TILTED MIRROR	TTD	TOILET TISSUE DISPENSER	CFS	CALL FOR ASSISTANCE SYSTEM
SD	SOAP DISPENSER	OI	OCCUPANCY INDICATOR	PL	PUSH TO LOCK VERTICAL BAR BUTTON
HD	HAND DRYER	SND	SANITARY NAPKIN DISPOSAL	PO	PUSH TO OPEN VERTICAL BAR BUTTON
CK	COAT HOOK	SS	SHOWER SPRAY / BED PAN CLEANSER		
STS	SHELF				



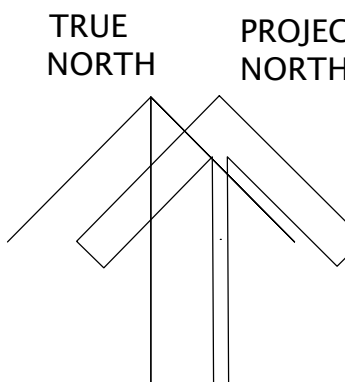
2 PARTIAL FIRST FLOOR PLAN - DEMOLITION  
SCALE: 1:50

1	26/09/21	ISSUED FOR PERMIT RESUBMISSION & ADDENDUM #01
2	26/09/21	ISSUED FOR CLIENT REVIEW
3	26/09/21	ISSUED FOR CLIENT REVIEW
4	26/09/21	ISSUED FOR CLIENT REVIEW
5	26/09/21	ISSUED FOR CLIENT REVIEW
6	26/09/21	ISSUED FOR CLIENT REVIEW
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8	26/09/21	ISSUED FOR CLIENT REVIEW
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98	26/09/21	ISSUED FOR CLIENT REVIEW
99	26/09/21	ISSUED FOR CLIENT REVIEW
100	26/09/21	ISSUED FOR CLIENT REVIEW

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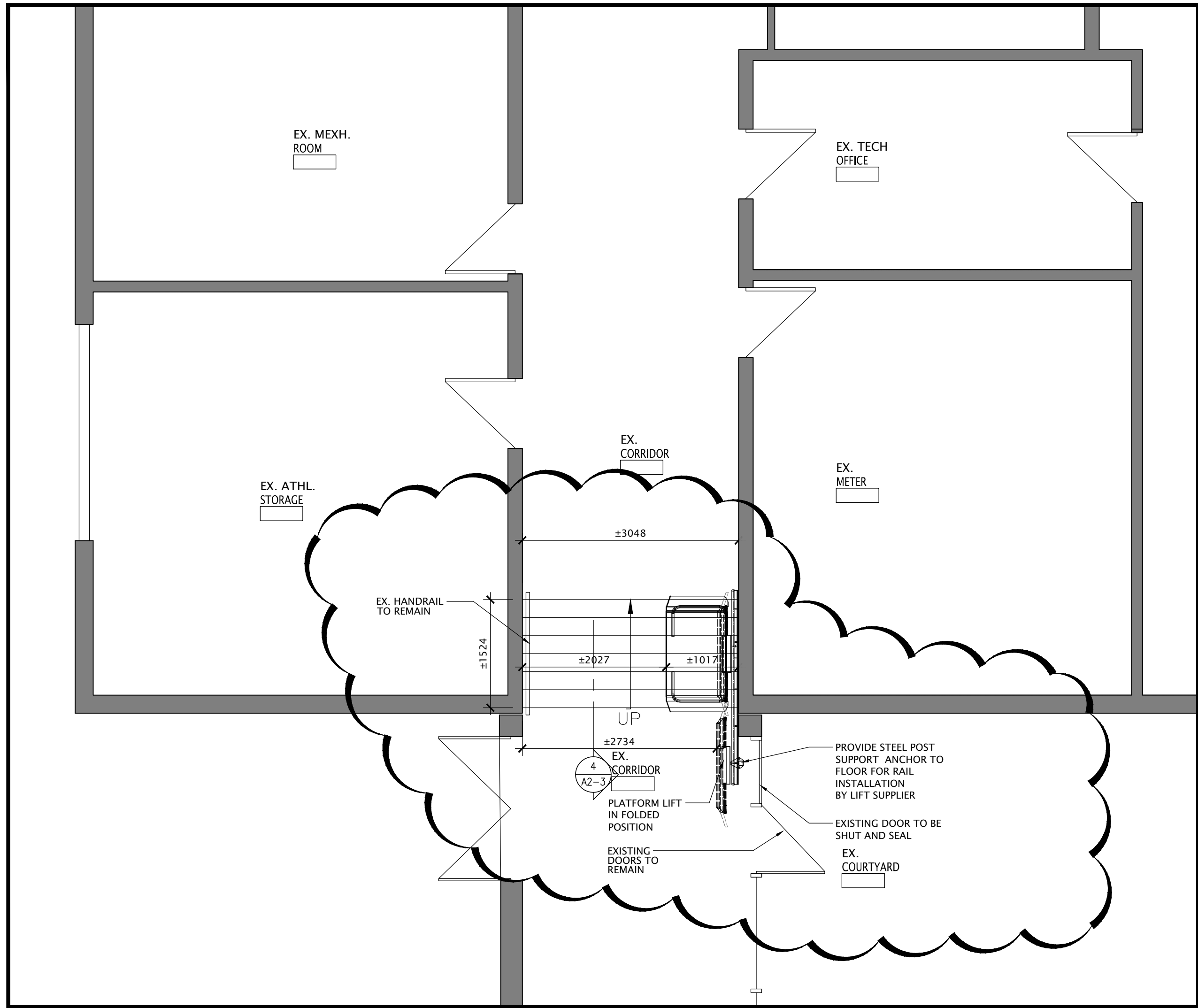


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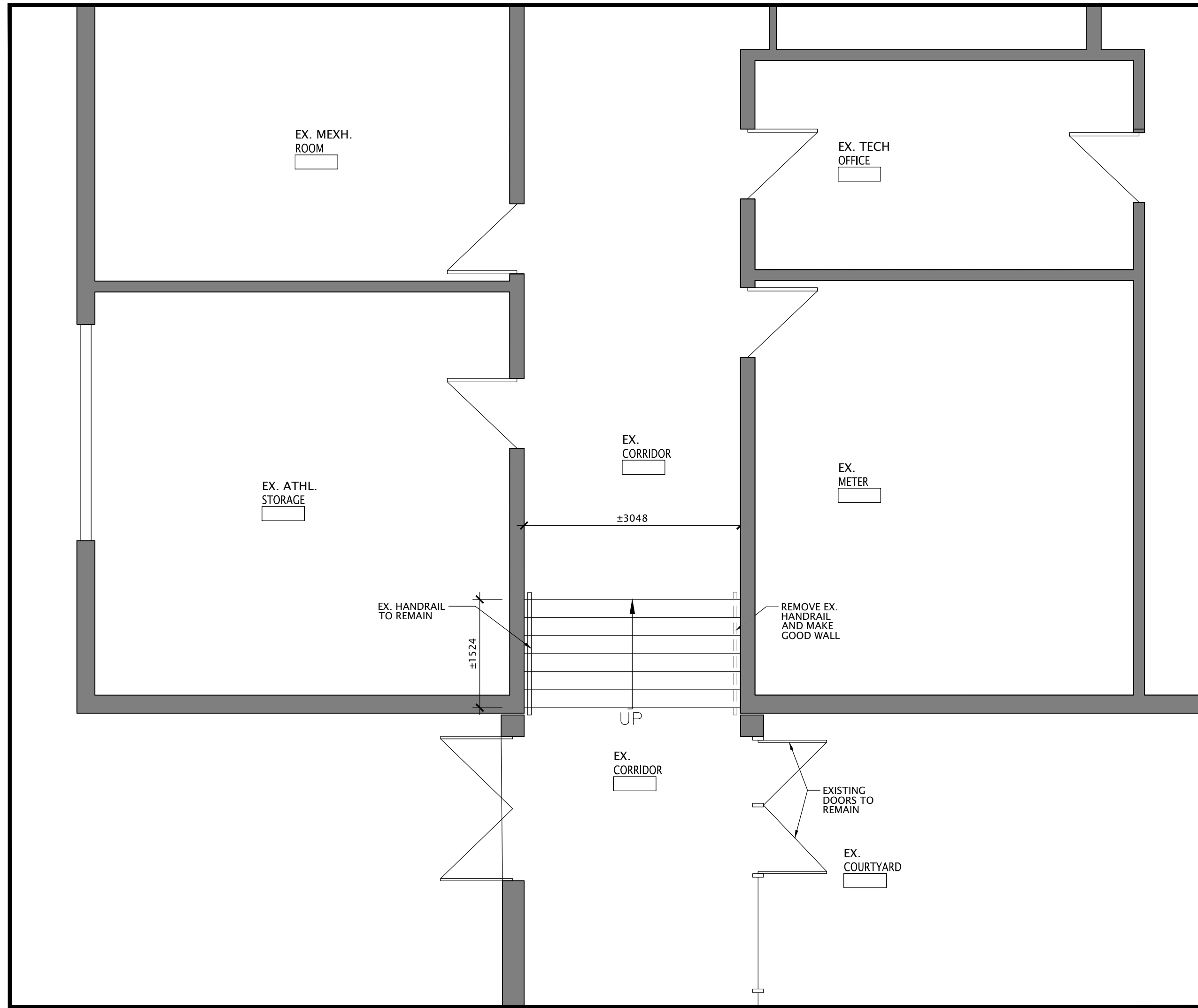
DRAWING TITLE: PARTIAL FIRST UNIVERSAL WASHROOM DEMO, NEW, CEILING AND INT. ELEVATIONS	PROJECT NO: A25007	SCALE: NOTED
CHECKED: K+	DRAWN: K+	DRAWING NO.: REV.
DATE: DEC. 2025		

FILES: A25007 - A2-2 DEMO & NEW MFL

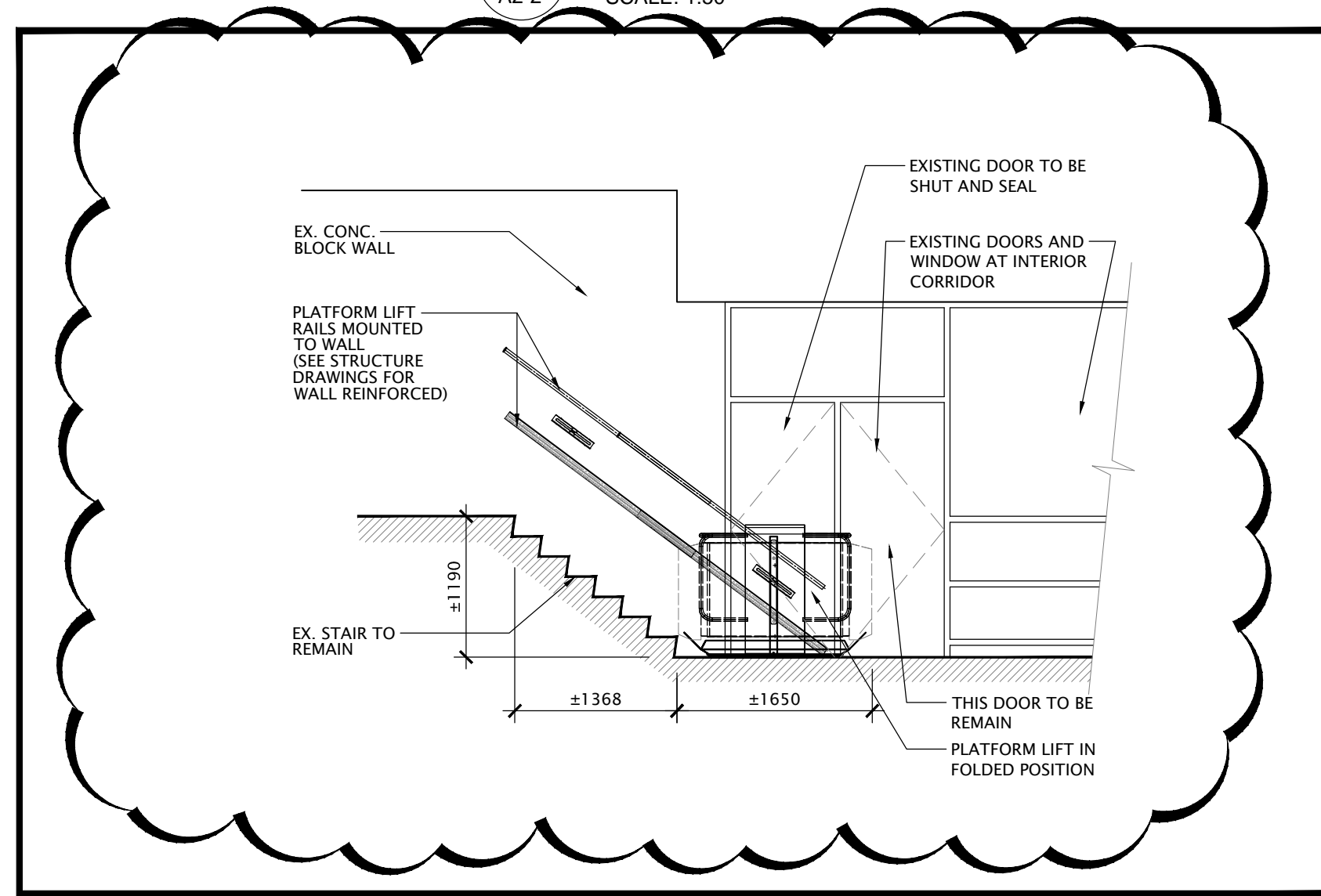




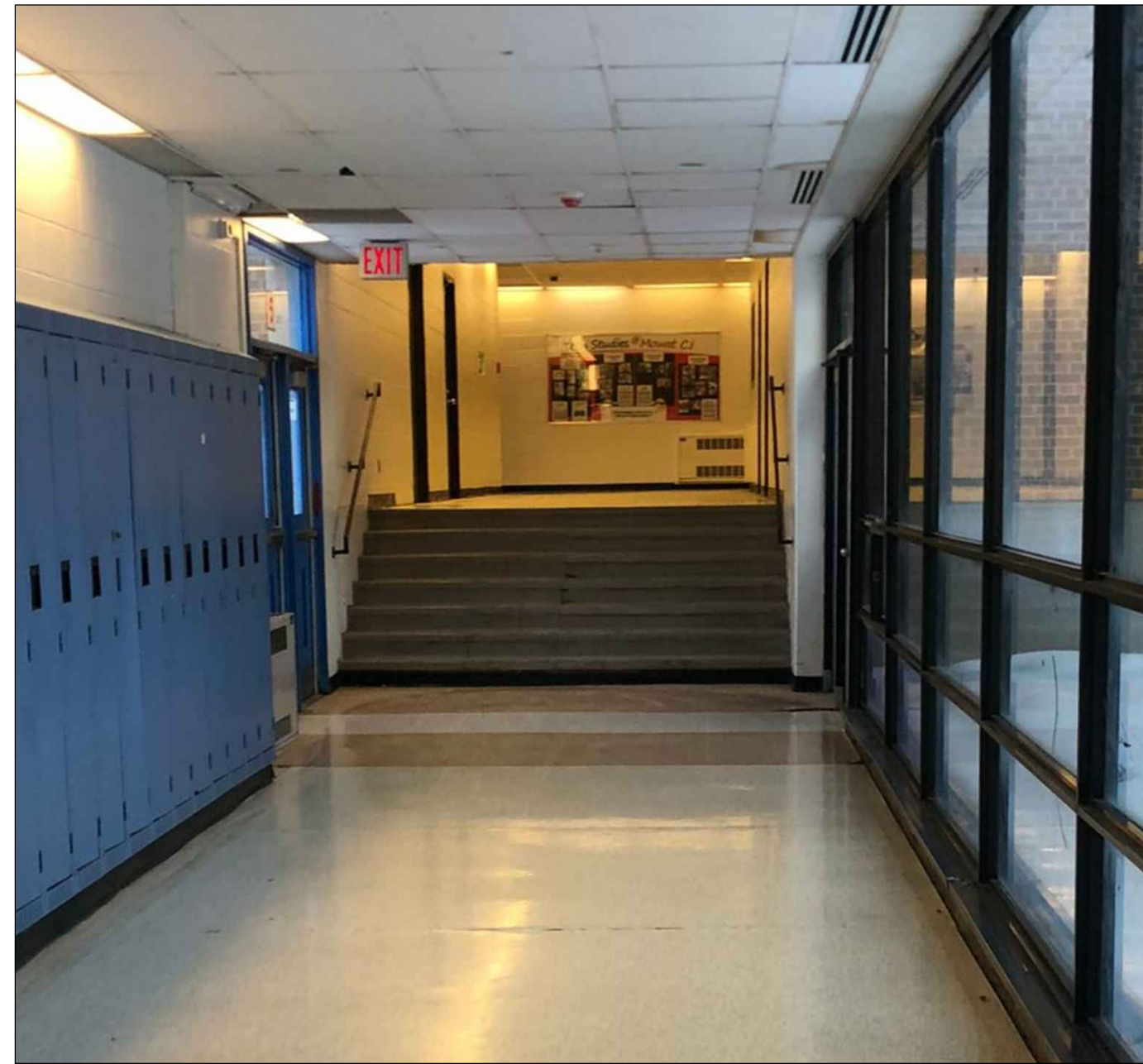
2 PARTIAL FIRST FLOOR PLAN - PLATFORM LIFT LAYOUT  
SCALE: 1:50



1 PARTIAL FIRST FLOOR PLAN - EXISTING  
SCALE: 1:50



4 SECTION AND ELEVATION AT STAIR & PLATFORM LIFT  
SCALE: 1:50

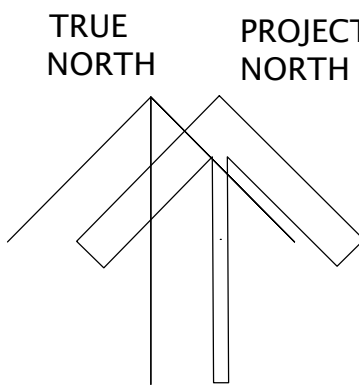


3 PHOTO  
SCALE: N.T.S.

NO.	DATE	REVISION
1	26/09/17	ISSUED FOR CLIENT REVIEW
2	26/09/18	ISSUED FOR CLIENT REVIEW
3	26/09/19	ISSUED FOR PERMIT AND TENDER
4	26/09/21	ISSUED FOR PERMIT RESUBMISSION & ADDENDUM #0

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  6. ALL DIMENSIONS GIVEN ARE IN METRIC.



**Kingsland +**  
ARCHITECTS INC.

KINGSLAND + ARCHITECTS INC.  
110 Cumberland Street, Suite 202  
Toronto, Ontario M5R 3V5  
ph 416.203.7799  
fax 416.203.7763



**Sir Oliver Mowat  
Collegiate Institute**  
ACCESSIBILITY UPGRADES

TR-25-0951  
5400 Lawrence Ave, East  
Scarborough, Ontario  
M1C 2C6

DRAWING TITLE:  
**PARTIAL FIRST FLOOR PLAN  
STAIR LIFT - EXISTING & NEW**

PROJECT NO: <b>A25007</b>	SCALE: <b>NOTED</b>
DRAWN: <b>K+</b>	DRAWING NO. REV.
CHECKED: <b>K+</b>	<b>A2-3</b>
DATE: <b>DEC. 2025</b>	<b>4</b>

FILES: A25007 - A2-3 DEMO & NEW MP

DATE PLOTTED: Friday, May 23, 2026



# Door and Frame Schedule

Door No.	Door										Frame			Fire Rating	Remarks
	no. of leaves - width	height	thick	type	mat'l	finish	glass	ADO	HO		type	mat'l	finish		
	FIRST FLOOR														
1-1	3-EX	EX	EX	EX	EX. HM	PT EP	-	EX.	-		EX	EX HM	PT EP		<u>Main Entrance 1.</u>
OFF-1	1-EX.	EX	EX	EX	EX WD	EX	EX	-	NEW		EX	EX HM	PT EP	EX. 45MIN	<u>Main Office.</u>
OFF-2	1-EX.	EX	EX	EX	EX WD	EX	EX	-	NEW		EX	EX HM	PT EP	EX. 45MIN	<u>Counselling Office.</u>
CAF-1	2-EX.	EX	EX	EX	EX WD	EX	EX	NEW	-		EX	EX HM	PT EP	EX. 45MIN	<u>Cafeteria.</u>
WR-1	EX	EX	EX	EX	EX. HM	PT EP	EX	NEW	-		EX	EX.HM	PT EP	-	<u>BF. Washroom.</u>
COR-1-1	1-EX	EX	EX	EX	EX. HM	PT EP	EX.	-	NEW		EX	EX. HM	PT EP	EX. 45MIN	<u>Ex. Corridor</u>
COR-1-2	1-EX	EX	EX	EX	EX. HM	PT EP	EX.	-	NEW		EX	EX. HM	PT EP	EX. 45MIN	<u>Ex. Corridor</u>
COR-1-3	3-EX	EX	EX	EX	EX. HM	EX.	EX.	-	NEW		EX	EX. HM	PT EP	EX. 45MIN	<u>Ex. Corridor</u>
UNI-1	EX	EX	EX	EX	EX. HM	PT EP	-	NEW	-		EX	EX. HM	PT EP	EX. 45MIN	<u>New Univ. WR.</u> Existing corridor door to remain

## Abbreviations

ADO–BF. Automatic Door Operator    AI–AI Phones    AL–Aluminum    AN–Anodized Clear    B/S–Both Sides    B.F.–Barrier Free    CR–Card Reader    EP–Epoxy  
 Ex–Existing    Ext–Exterior    FG–Fire Rated Tempered Glass    HO– Hold-Open Device (Electromagnetic)    IGU–Insulated Glazed Unit    LG–Laminated Glass  
 PL–P.Lam w/ High Quality Transparent Finish    PRE–Prefinished    PSF–Pressed Steel Frame    PT–Paint    TB –Thermally Broken    TG–Clear Tempered Glass  
 VAR–Varnish    WD–Wood

# Door and Frame Schedule

Door No.	Door										Frame			Fire Rating	Remarks
	no. of leaves - width	height	thick	type	mat'l	finish	glass	ADO	HO		type	mat'l	finish		
STO-1	850	2150	45	A	HM	PT EP	-	-	-		-	HM	PT EP	-	<u>New Storage Room</u>
COR-1-4	EX	EX	EX	EX	EX. HM	EX.	EX.	-	NEW		EX	EX. HM	PT EP	EX. 45MIN	<u>Ex. Corridor.</u>
RES-1	2-EX.	EX.	EX.	EX.	EX.	EX.	-	NEW	-		EX.	EX.	EX.	EX. 45MIN	<u>Resource Centre.</u>
7-1	2-EX	EX	EX	EX	EX	EX	EX	EX	-		EX	EX	EX	-	<u>BF. Entrance 7</u>
GYM-1	1-EX.	EX.	EX.	EX.	EX. HM	PT EP	EX.	NEW	-		EX.	EX. HM	PT EP.	EX. 45MIN	<u>Gymnasium A</u>
GYM-2	2-EX.	EX.	EX.	EX.	EX. HM	PT EP	EX.	NEW	-		EX.	EX. HM	PT EP.	EX. 45MIN	<u>Gymnasium B</u>
GYM-3	2-EX.	EX.	EX.	EX.	EX. HM	PT EP	EX.	NEW	-		EX.	EX. HM	PT EP.	EX. 45MIN	<u>Gymnasium C</u>
AUD-1	2-EX.	EX.	EX.	EX.	EX. WD	EX.	EX.	NEW	-		EX.	EX. HM	PT EP.	EX. 45MIN	<u>Auditorium</u>
AUD-2	2-EX.	EX.	EX.	EX.	EX. WD	EX.	EX.	NEW	-		EX.	EX. HM	PT EP.	EX. 45MIN	<u>Auditorium</u>
COR-1-5	EX	EX	EX	EX	EX. HM	EX	EX	-	NEW		EX	EX. HM	PT EP	EX. 45MIN	<u>Ex. Corridor.</u>

## Abbreviations

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 Ex–Existing Ext–Exterior FG–Fire Rated Tempered Glass HO– Hold-Open Device (Electromagnetic) IGU–Insulated Glazed Unit LG–Laminated Glass  
 PL–P.Lam w/ High Quality Transparent Finish PRE–Prefinished PSF–Pressed Steel Frame PT–Paint TB –Thermally Broken TG–Clear Tempered Glass  
 VAR–Varnish WD–Wood

# Door and Frame Schedule

Door No.	Door										Frame			Fire Rating	Remarks
	no. of leaves - width	height	thick	type	mat'l	finish	glass	ADO	HO		type	mat'l	finish		
9-1	2-EX	EX	EX	EX	EX	EX	EX	EX	-		EX	EX	EX		<u>BF. Entrance 9</u>
9-2	2-EX	EX	EX	EX	EX	EX	EX	EX	-		EX	EX	EX	-	<u>BF. Entrance Vestibule 9</u>
	SECOND FLOOR														
COR-2-1	2-EX	EX	EX	EX	EX. HM	PT EP	EX.		NEW		EX	EX. HM	PT EP	EX. 45MIN	<u>Ex. Corridor</u>
COR-2-2	2-EX	EX	EX	EX	EX. HM	PT EP	EX.		NEW		EX	EX. HM	PT EP	EX. 45MIN	<u>Ex. Corridor</u>
	THIRD FLOOR														
COR-3-1	1-EX	EX	EX	EX	EX. HM	PT EP	EX.	-	NEW	-	EX	EX. HM	PT EP	EX. 45MIN	<u>Ex. Corridor</u>
306-1	1-EX.	EX.	EX.	EX.	EX. WD	EX.	EX.	NEW	-	-	EX.	EX. HM	PT EP.	EX. 45MIN	<u>306 SPEC. ED</u>
300-1	1-EX.	EX.	EX.	EX.	EX. HM	PT EP	EX.	NEW	-		EX.	EX. HM	PT EP.	EX. 45MIN	<u>306 SPEC. ED</u>
COR-3-2	2-EX	EX	EX	EX	EX. HM	PT EP	EX.	-	NEW		EX	EX. HM	PT EP	EX. 45MIN	<u>Ex. Corridor</u>
COR-3-3	2-EX	EX	EX	EX	EX. HM	PT EP	EX.	-	NEW		EX	EX. HM	PT EP	EX. 45MIN	<u>Ex. Corridor</u>
307-1	1-EX.	EX.	EX.	EX.	EX.	EX.	EX.	NEW	-		EX.	EX.	PT EP.	EX.	<u>307 RESOURCE ROOM</u>

## Abbreviations

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 PL–P.Lam w/ High Quality Transparent Finish PRE–Prefinished PSF–Pressed Steel Frame PT–Paint TB –Thermally Broken TG–Clear Tempered Glass  
 VAR–Varnish WD–Wood

# Door and Frame Schedule

Door No.	Door										Frame			Fire Rating	Remarks
	no. of leaves - width	height	thick	type	mat'l	finish	glass	ADO	HO		type	mat'l	finish		
					WD							HM		45MIN	

## General Notes:

•	All ex. HM doors and frames proposed to be painted "PT", to be well prepared first to receive new painting -see specs and should be painted both sides.
•	Reuse ex. HM frames where new doors to be installed in ex. openings. All ex. HM frames to be repainted.
•	Refer to Colour Schedule for paint colors of HM doors and frames.
•	Turn in all the old hardware on ex. Doors to be removed and/or replaced to TDSB but temporary remove & reuse the cylinder cores. Before temporarily storing the cylinder cores, label by marking on the core itself, which room number it came out from.
•	Site verify ex. door openings widths before door manufacturing. Wherever ex. door openings widths do not allow for installation of a min. 950mm wide door for new doors to be installed in ex. openings, GC to inform K+/TDSB to provide further direction.
•	All tempered, fire rated glass/firelite to be labelled by the manufacturer as such.
•	All fire rated doors to be labelled by Intertek or equivalent as such.
•	All new electromagnetic hold opens to be connected to the fire alarm system – see elec.
•	Refer to floor plan for the location side of the door operator, regardless GC is responsible to site verify the side the door operator can be mounted on where there is enough headroom to ceiling above the door. Preference is to mount the door operator on the push side, however if no enough headroom to ceiling ceiling space exists. GC to install on the opposite side and door operator to be specified as such. If no enough headroom to ceiling exists on either side, door

## Abbreviations

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 VAR–Varnish WD–Wood

# Door and Frame Schedule

	operator to be installed within the ceiling bulkhead and be of the “recessed” type. Wherever an ADO is proposed for a double door, one door to be ADO operated and the other leaf to have a door closer.
•	Installation of new doors cylinders for <u>existing doors</u> , will be done by TDSB hardware vendor (N.I.C.). All permanent cylinders will be purchased by the TDSB and installed by the school board hardware vendor-see hardware schedule. However, where indicated in the hardware schedule to provide new locksets for existing doors, the new locksets to have <u>compatible</u> temporary construction cylinders within and both to be provided by GC. Locksets to also be <u>compatible</u> with permanent construction cylinders which in turn will be provided by TDSB.
•	GC to install temporary construction cylinders within permanent locksets, compatible with the school's master keying system of interchangeable core, for all <u>new doors</u> requiring keying. All permanent cylinders will be purchased by the TDSB after and installed by the school board hardware vendor-see hardware schedule.
•	AI and Card readers will be provided by TDSB. GC to provide and allow for the electric strikes and electrical connections and install only the AI and Card readers.

End of Section

## Abbreviations

ADO–BF. Automatic Door Operator AI–AI Phones AL–Aluminum AN–Anodized Clear B/S–Both Sides B.F.–Barrier Free CR–Card Reader EP–Epoxy  
 Ex–Existing Ext–Exterior FG–Fire Rated Tempered Glass HO– Hold-Open Device (Electromagnetic) IGU–Insulated Glazed Unit LG–Laminated Glass  
 PL–P.Lam w/ High Quality Transparent Finish PRE–Prefinished PSF–Pressed Steel Frame PT–Paint TB –Thermally Broken TG–Clear Tempered Glass  
 VAR–Varnish WD–Wood

## **FINISHING HARDWARE SCHEDULE**

PROJECT: SIR OLIVER MOWAT COLLEGIATE INSTITUTE, TDSB  
ACCESSIBILITY UPGRADES  
5400 LAWRENCE AVENUE EAST  
SCARBOROUGH, ONTARIO M1C 2C6

ARCHITECT: KINGSLAND + ARCHITECTS INC.  
219 DUFFERIN STREET, SUITE 308B  
TORONTO, ONTARIO M6K 3J1  
TEL: (416) 203-7799  
FAX: (416) 203-7763

SCHEDULE BY: EMPIRE HARDWARE LIMITED  
126 MARTIN ROSS AVENUE  
TORONTO, ONTARIO M3J 2L4  
TEL: (416) 638-5400  
FAX: (416) 638-0254

CONSULTANT: JOHN EDWARDS

PROJECT COORDINATOR: MIRA CARLOS

DATE: MAY 14,2026

REVISED DATE: MAY 19,2026

ITEM 1      3 SGL DOORS 1-1 MAIN EXTERIOR ENTRANCE FROM CORRIDOR      RHR

EX X EX X EX      HM DR X HM FR

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1	AUTO OPERATOR/S	HA-8 FAR RIGHT DOOR	
2	TOUCHLESS PUSH BUTTON/S	CM-7536SSVR/4	32D
1	ELECTRIC STRIKE/S	9600 FAR RIGHT DOOR	630

NOTES:  
AI PHONE BY OTHERS.  
CARD READER BY OTHERS.  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 2      1 SGL DOOR OFF-1 CORRIDOR TO GENERAL OFFICE WAIT AREA      LH

ITEM 3      1 SGL DOOR OFF-2 CORRIDOR TO GUIDANCE      RH

EX X EX X EX      WD DR X HM FR      ULC 45MIN

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2	MAGNETIC HOLDER/S	SEM7850	689
2	MAGNET EXTENSION LINK/S	SEM7810-514	689
2	MAGNET EXTENSION/S	SEM7810-E200	689

NOTES:  
SEM TIED TO FIRE ALARM SYSTEM.  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 4      1 PAIR DOORS CAF-1 CORRIDOR FROM CAFETERIA      LHR/RHRA

EX X EX X EX      WD DR X HM FR      ULC 45MIN

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1	AUTO OPERATOR/S	HA-8	
2	TOUCHLESS PUSH BUTTON/S	CM-7536SSVR/4	32D
1	ELECTRIC STRIKE/S	9500	630

NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 5      1 SGL DOOR WR-1 CORRIDOR FROM BF WASHROOM      RHR

EX X EX X EX      EX DR X EX FR

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1	STOREROOM LOCKSET/S	11G04 LL	26D
1	ELECTRIC STRIKE/S	4500C	630
1	AUTO OPERATOR/S	HA-8	
1	EMERGENCY CALL SYSTEM/S	CX-WEC10	
1	TOUCHLESS SWITCH W/R KIT/S	CX-WC16	

NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.



ITEM 6      1 SGL DOOR COR-1-1 CORRIDOR FROM CORRIDOR      RHR

EX X EX X EX      HM DR X HM FR      ULC 45MIN

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1	HOLD OPEN CLOSER/S	4040SE X VOLTAGE (24V OR 120) - TBC PUSH SIDE	689
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NOTES:  
SE TIED TO FIRE ALARM SYSTEM.  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 7      1 PAIR DOORS COR-1-2 CORRIDOR FROM CORRIDOR      LHR/RHR

\_\_\_ X \_\_\_ X \_\_\_      EX DR X EX FR

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2	MAGNETIC HOLDER/S	SEM7850	689
2	MAGNET EXTENSION LINK/S	SEM7810-514	689
2	MAGNET EXTENSION/S	SEM7810-E400	689

NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 8      3 SGL DOORS COR-1-3 CORRIDOR FROM CORRIDOR      2-LHR/1-RHR

EX X EX X EX      HM DR X HM FR      ULC 45MIN

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2	HOLD OPEN CLOSER/S	4040SE X ST X VOLTAGE (24V OR 120) - TBC PULL SIDE	689
2	DROP PLATE/S	4040SE-18	689
1	MAGNETIC HOLDER/S	SEM7850 RHR DOOR	689
1	MAGNET EXTENSION LINK/S	SEM7810-514	689
1	MAGNET EXTENSION/S	SEM7810-E200	689
2	OVERHEAD STOP/S	904SE LHR DOOR	32D

NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 9      1 SGL DOOR UNI-1 CORRIDOR FROM NEW UNIV. WR.      LHR

EX X EX X EX      HM DR X HM FR

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1	STOREROOM LOCKSET/S	11G04 LL	26D
1	ELECTRIC STRIKE/S	4500C	630
1	AUTO OPERATOR/S	HA-8	
1	EMERGENCY CALL SYSTEM/S	CX-WEC10	
1	TOUCHLESS SWITCH W/R KIT/S	CX-WC16	

NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 10      1 SGL DOOR STO-1 NEW UNIV. WR TO NEW STORAGE ROOM      RH  
850 X 2150 X 45      HM DR X HM FR      TYPE A

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3	HINGE/S	CB179 114 X 101	26D
1	STOREROOM LOCKSET/S	11G04 LL	26D
1	DOOR CLOSER/S	1461 SCUSH	689
1	KICKPLATE/S	GSH 80A 203 X 810 X TEK	32D

ITEM 11      1 PAIR DOORS RES-1 CORRIDOR TO RESOURCE CENTRE      LHA/RH  
EX X EX X EX      EX DR X EX FR      ULC 45MIN

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1	AUTO OPERATOR/S	HA-8	
2	TOUCHLESS PUSH BUTTON/S	CM-7536SSVR/4	32D
1	ELECTRIC STRIKE/S	1006CLB	630

NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 12	1 PAIR DOORS GYM-1 VESTIBULE FROM GYMNASIUM C	LHR/RHRA
ITEM 13	1 PAIR DOORS GYM-2 VESTIBULE FROM GYMNASIUM B	LHR/RHRA

\_\_\_ X \_\_\_ X \_\_\_ HM DR X HM FR ULC 45MIN

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2	AUTO OPERATOR/S	HA-8	
4	TOUCHLESS PUSH BUTTON/S	CM-7536SSVR/4	32D
2	ELECTRIC STRIKE/S	9500	630

NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 14	1 SGL DOOR GYM-3 CORRIDOR FROM GYMNASIUM A	LHR
EX X EX X EX HM DR X HM FR ULC 45MIN		

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1	AUTO OPERATOR/S	HA-8	
2	TOUCHLESS PUSH BUTTON/S	CM-7536SSVR/4	32D
1	ELECTRIC STRIKE/S	9500	630

NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 15	1 PAIR DOORS AUD-1 CORRIDOR FROM AUDITORIUM	LHRA/RHR
ITEM 16	1 PAIR DOORS AUD-2 CORRIDOR FROM AUDITORIUM	LHRA/RHR

EX X EX X EX WD DR X HM FR

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2	AUTO OPERATOR/S	HA-8	
4	TOUCHLESS PUSH BUTTON/S	CM-7536SSVR/4	32D
2	ELECTRIC STRIKE/S	9500	630

NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 17	1 PAIR DOORS COR-2-1 CORRIDOR FROM CORRIDOR	LHR/RHR
ITEM 18	1 PAIR DOORS COR-2-2 CORRIDOR FROM CORRIDOR	LHR/RHR

EX X EX X EX HM DR X HM FR ULC 45MIN

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4	HOLD OPEN CLOSER/S	4040SE X ST X VOLTAGE (24V OR 120) - TBC PULL SIDE	689
4	DROP PLATE/S	4040SE-18	689
4	OVERHEAD STOP/S	904SE	32D

NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 19      1 PAIR DOORS COR-3-1 CORRIDOR FROM CORRIDOR      LHR/RHR

EX X EX X EX      HM DR X HM FR      ULC 45MIN

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2	HOLD OPEN CLOSER/S	4040SE X ST X VOLTAGE (24V OR 120) - TBC PULL SIDE	689
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2	DROP PLATE/S	4040SE-18	689
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2	OVERHEAD STOP/S	904SE	32D
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NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 20      1 PAIR DOORS COR-3-2 CORRIDOR FROM CORRIDOR      LHR/RHR

EX X EX X EX      EX DR X EX FR

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2	MAGNETIC HOLDER/S	SEM7850	689
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NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 21 1 PAIR DOORS COR-3-3 CORRIDOR FROM HALLWAY LHR/RHR

EX X EX X EX EX DR X EX FR ULC 45MIN

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1	HOLD OPEN CLOSER/S	4040SE X ST X VOLTAGE (24V OR 120) - TBC PULL SIDE	689
1	DROP PLATE/S	4040SE-18	689
1	MAGNETIC HOLDER/S	SEM7850 RHR DOOR	689
1	MAGNET EXTENSION LINK/S	SEM7810-514	689
1	MAGNET EXTENSION/S	SEM7810-E200	689

NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.

ITEM 22 1 SGL DOOR 306-1, CORRIDOR TO SPEC. ED OFFICE 306 RH  
ITEM 23 1 SGL DOOR 300-1, CORRIDOR TO COMPUTER LAB 300 RH  
ITEM 24 1 SGL DOOR 307-1, CORRIDOR TO RESOURCE ROOM 307 RH

EX X EX X EX EX DR X EX FR ULC 45MIN

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3	AUTO OPERATOR/S	HA-8	
6	TOUCHLESS PUSH BUTTON/S	CM-7536SSVR/4	32D
3	ELECTRIC STRIKE/S	1006CLB	630
1	OVERHEAD STOP/S	904S DOOR 300-1	32D

NOTE:  
ALL OTHER HARDWARE EXISTING TO REMAIN.

**SIR OLIVER MOWAT COLLEGIATE INSTITUTE  
ACCESSIBILITY UPGRADES  
MAY 20, 2026  
MECHANICAL & ELECTRICAL ADDENDUM #1**

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The following document is hereby made a part of the Contract Documents.

The following revisions and/or additions shall be made to Drawings and/or specifications and the cost shall be included in Tender Price.

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**Fire Alarm Warranty Holder:**

1. Note that the Fire Alarm System is currently under warranty by Kudlak-Baird Electrical Contractors. All Fire Alarm Work must only be completed by Kudlak-Baird Electrical Contractors. Contact Paul Drozdowski ([paul@kudlak-baird.com](mailto:paul@kudlak-baird.com)) for all pricing requests. All costs of Kudlak-Baird Electrical Contractors shall be included in the Base Tender Price.

**Drawing M3 – Mechanical Part Plans:**

1. See attached re-issued Drawing with clouded revisions.

**Drawing E5 – Electrical Part Plans:**

1. Note #5 – Revise Panel Name to Panel 'NA'.
2. Note #9 – Receptacles shall be of 'GFI' type.

**Drawing E6 – Electrical Part Plans:**

1. See attached re-issued Drawing with clouded revisions.

**END OF M&E ADDENDUM #1**





